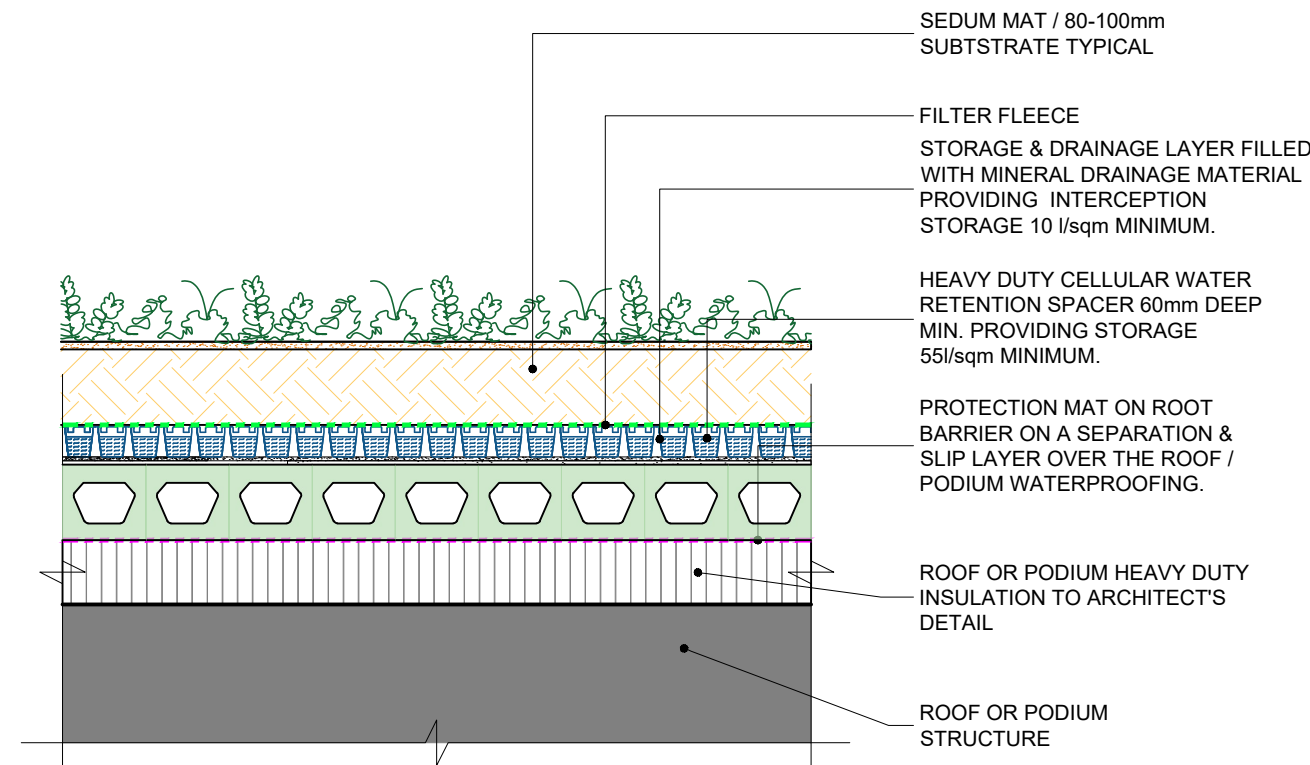


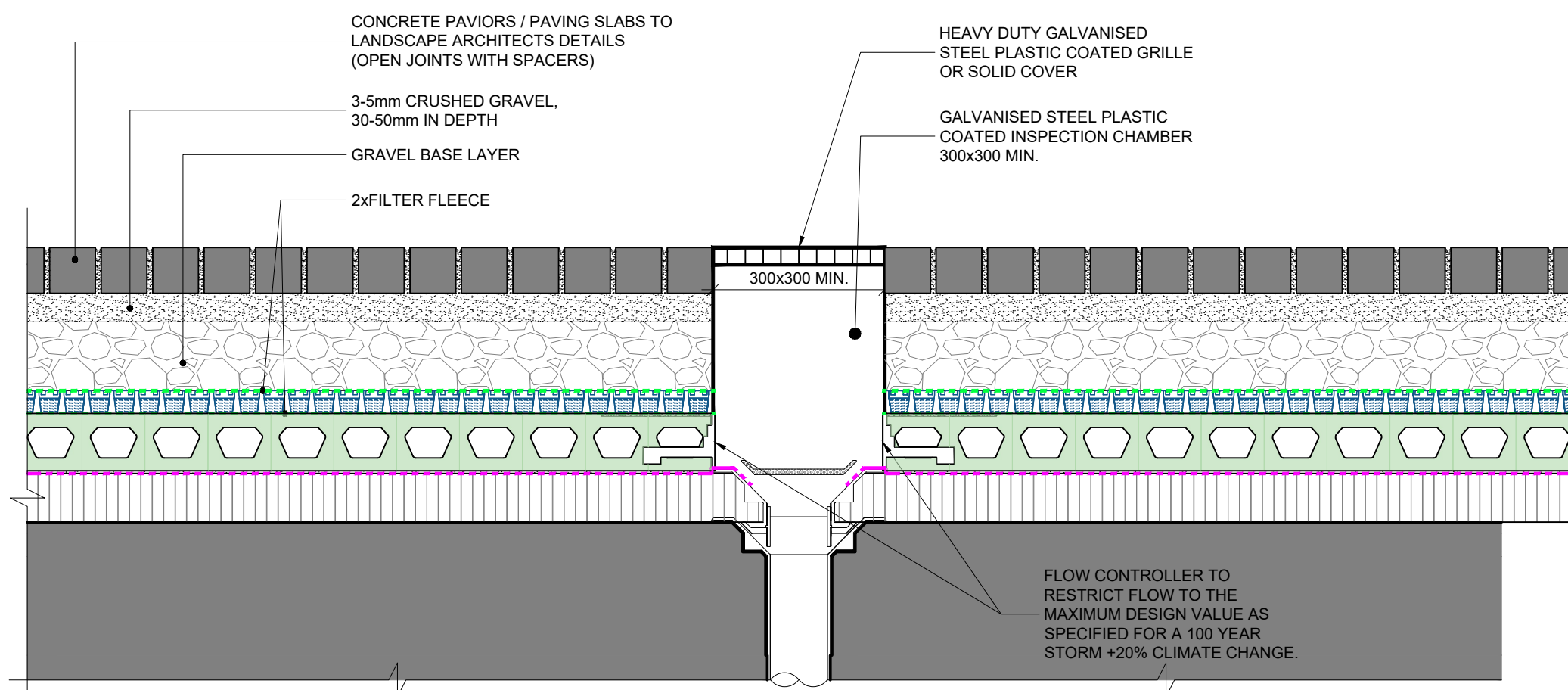
SOFT LANDSCAPING - EXTENSIVE GREEN ROOF ON DRAINAGE BOARD ON BLUE ROOF STORAGE



TYPICAL DETAIL

SCALE @ A1: 1:10
SCALE @ A3: 1:20

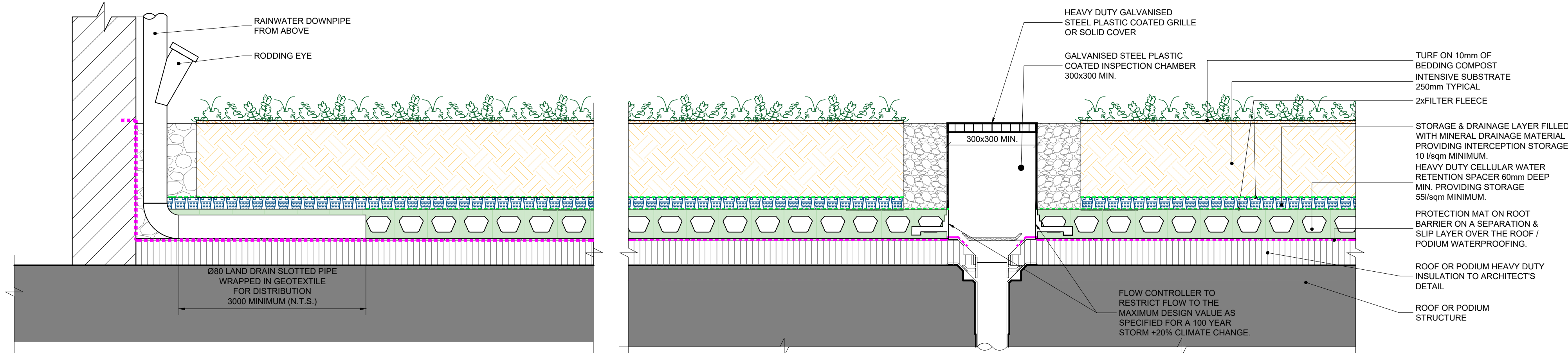
HARD LANDSCAPING - PERMEABLE PAVING ON DRAINAGE BOARD ON BLUE ROOF STORAGE



TYPICAL DETAIL

SCALE @ A1: 1:10
SCALE @ A3: 1:20

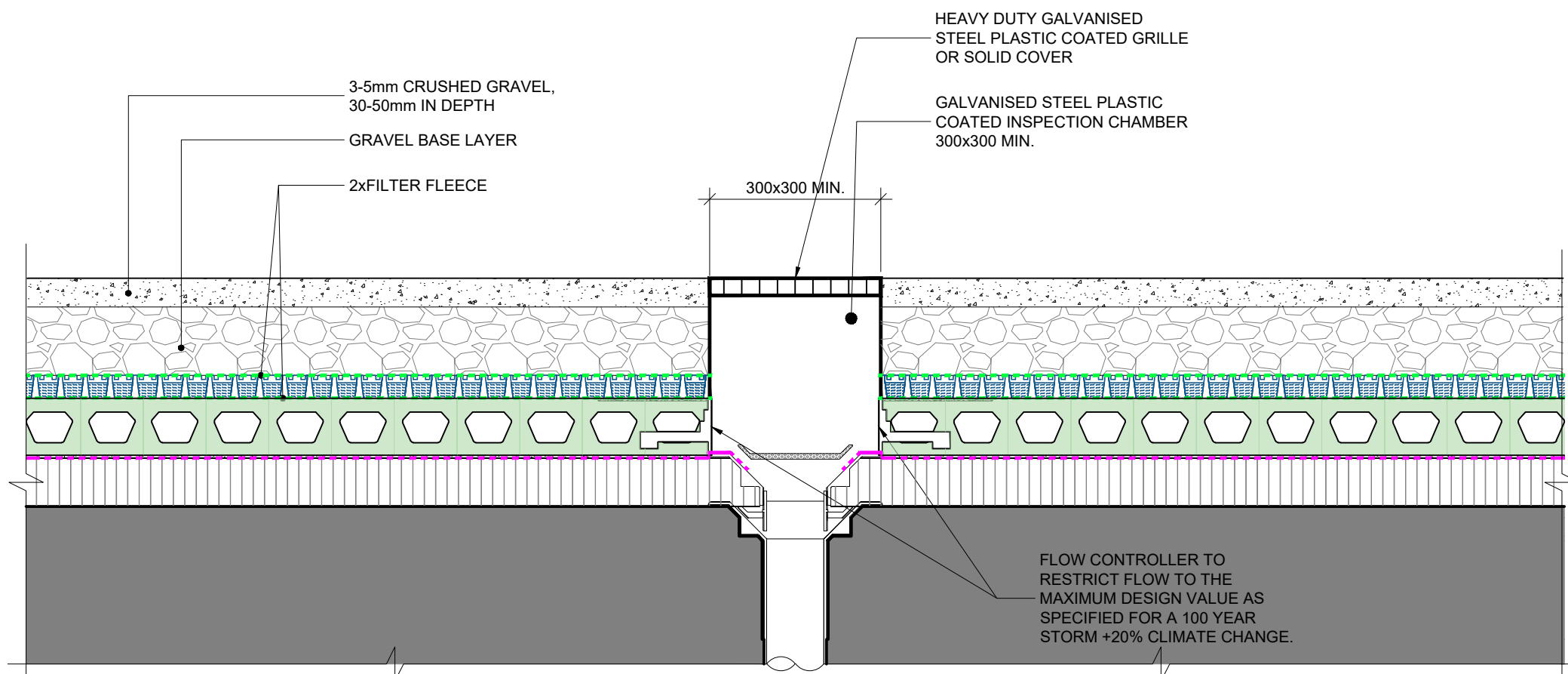
SOFT LANDSCAPING - INTENSIVE GREEN ROOF ON DRAINAGE BOARD ON BLUE ROOF STORAGE



TYPICAL DETAIL

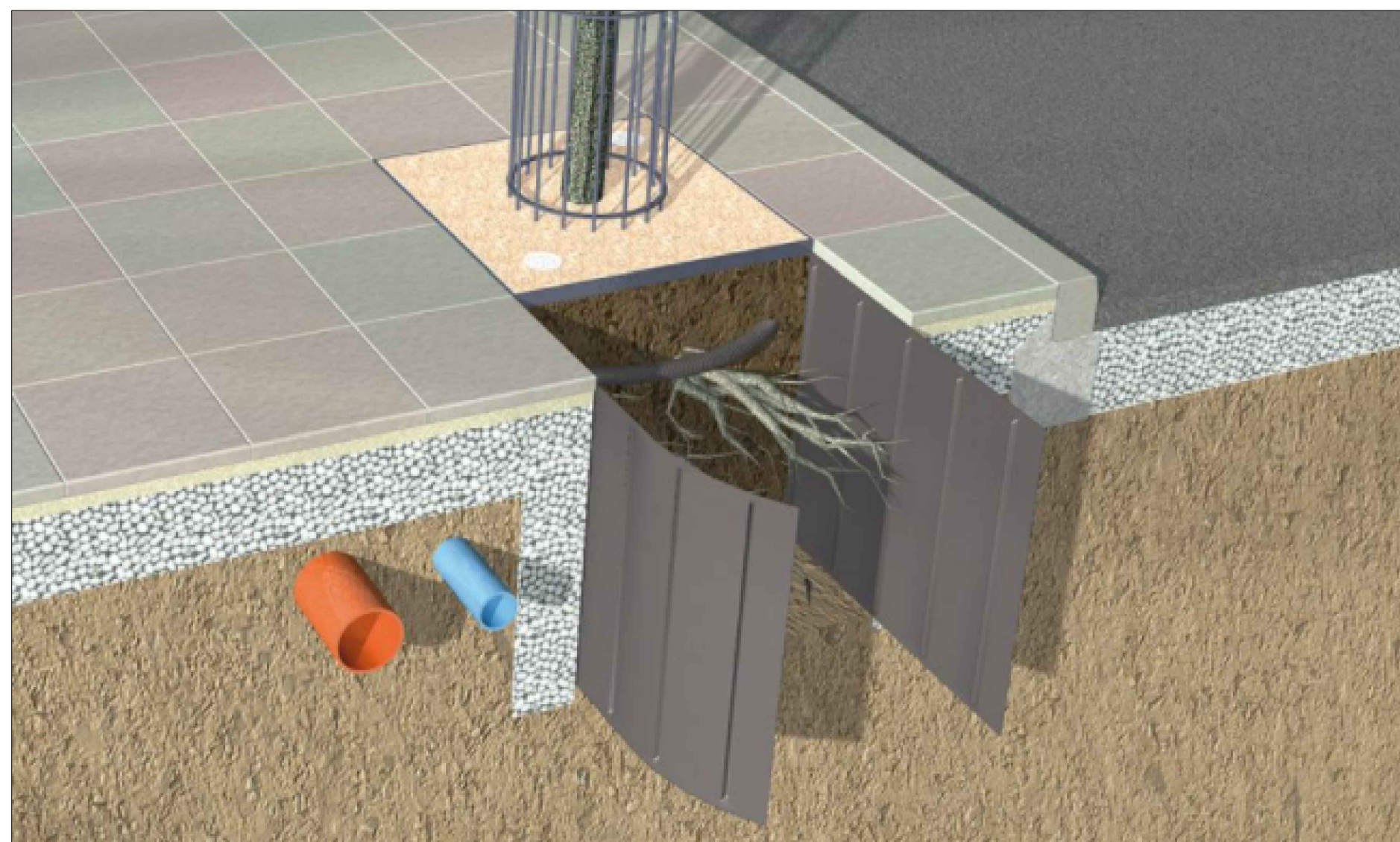
SCALE @ A1: 1:10
SCALE @ A3: 1:20

GRAVEL FINISH ON DRAINAGE BOARD ON BLUE ROOF STORAGE (UNDER ROOF AREAS WITH SOLAR PAINELS)



TYPICAL DETAIL

SCALE @ A1: 1:10
SCALE @ A3: 1:20



'GREENLEAF REROOT' - TREE ROOT PROTECTION SYSTEM 3D VIEW

SCALE @ A1: (NTS)
SCALE @ A3: (NTS)

NOTES

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEERS & ARCHITECTS DRAWINGS FIGURED DIMENSIONS ONLY (NOT SCALING) TO BE USED. WHERE A CONFLICT OF INFORMATION EXISTS OR IF IN ANY DOUBT - 'ASK'.
- CONSULTANTS TO BE INFORMED IMMEDIATELY OF ANY DISCREPANCIES BEFORE WORK PROCEEDS.

NOTES:

- DETAILED DESIGN & SPECIFICATION OF BLUE & GREEN ROOF OR PODIUM SYSTEMS BY THE SUPPLIER, SUBJECT TO APPROVAL.
- ALL MEMBRANES / SHEETS TO BE UV STABILISED & ROT PROOF.
- A 100Ø mm EMERGENCY PARAPET OVERFLOW PIPE SHOULD BE PROVIDED ON ALL BLUE ROOFS.

MAINTENANCE REQUIREMENTS FOR GREEN ROOFS

REGULAR INSPECTIONS, ANNUALLY AND AFTER SEVERE STORMS. INSPECT ALL COMPONENTS INCLUDING SOIL SUBSTRATE, VEGETATION, DRAINS, IRRIGATION SYSTEMS (IF APPLICABLE), MEMBRANES AND ROOF STRUCTURE FOR PROPER OPERATION, INTEGRITY OF WATERPROOFING AND STRUCTURAL STABILITY. INSPECT SOIL SUBSTRATE FOR EVIDENCE OF EROSION CHANNELS AND IDENTIFY ANY SEDIMENT SOURCES. INSPECT DRAIN INLETS TO ENSURE UNRESTRICTED RUNOFF FROM THE DRAINAGE LAYER TO THE CONVEYANCE OR ROOF DRAIN SYSTEM. INSPECT UNDERSIDE OF ROOF FOR EVIDENCE OF LEAKAGE.

REGULAR MAINTENANCE
REMOVE DEBRIS AND LITTER TO PREVENT CLOGGING OF INLET DRAINS AND INTERFERENCE WITH PLANT GROWTH. SIX MONTHLY AND ANNUALLY OR AS REQUIRED
DURING ESTABLISHMENT (I.E. YEAR ONE), REPLACE DEAD PLANTS AS REQUIRED. MONTHLY (BUT USUALLY RESPONSIBILITY OF MANUFACTURER)
POST ESTABLISHMENT, REPLACE DEAD PLANTS AS REQUIRED (WHERE > 5% OF COVERAGE). ANNUALLY (IN AUTUMN)
REMOVE FALLEN LEAVES AND DEBRIS FROM DECIDUOUS PLANT FOLIAGE. SIX MONTHLY OR AS REQUIRED
REMOVE NUISANCE AND INVASIVE VEGETATION, INCLUDING WEEDS SIX MONTHLY OR AS REQUIRED MOW GRASSES, PRUNE SHRUBS AND MANAGE OTHER PLANTING
(IF APPROPRIATE) AS REQUIRED - CLIPPINGS SHOULD BE REMOVED AND NOT ALLOWED TO ACCUMULATE. SIX MONTHLY OR AS REQUIRED

REMEDIAL ACTIONS
IF EROSION CHANNELS ARE EVIDENT, THESE SHOULD BE STABILISED WITH EXTRA SOIL SUBSTRATE SIMILAR TO THE ORIGINAL MATERIAL, AND SOURCES OF EROSION DAMAGE SHOULD BE IDENTIFIED AND CONTROLLED. FREQUENCY AS REQUIRED.
IF DRAIN INLET HAS SETTLED, CRACKED OR MOVED, INVESTIGATE AND REPAIR AS APPROPRIATE. FREQUENCY AS REQUIRED.

PL6	11.03.25	ISSUED FOR PLANNING	AM
PL5	04.12.24	ISSUED FOR PLANNING	DB
PL4	25.02.22	ISSUED FOR PLANNING	MR
PL3	04.02.22	ISSUED FOR PLANNING	MR
PL2	13.10.21	ISSUED FOR PLANNING	MR
PL1	08.10.21	ISSUED FOR PLANNING	MR
P1	27.08.21	ISSUED FOR COMMENT	MR
ISSUE	DATE	DESCRIPTION	BY

Project Engineer: MH Project Director: CK

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PLANNING

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PROJECT TITLE
CARLISLE SITE KIMMAGE, RESIDENTIAL DEVELOPMENT

BM PROJECT No.
21.221

DRAWING TITLE
SuDS DETAILS. TYPICAL GREEN & BLUE ROOF DETAILS.

DWG
DRAWING REFERENCE
CST-BMD-00-ZZ-DR-C-1205

STATUS
PL

REVISION
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